

**CITY OF SPARTA
PLANNING COMMISSION AGENDA
September 9, 2020**

CITY HALL

6:30 P.M.

- 1. Call meeting to Order**
- 2. Roll Call**
- 3. Consent Agenda: Consisting of the minutes of the regular meeting on August 5, 2020.**
- 4. Consideration of Sign for Cricket Wireless located at 530 S Black River Street.**
- 5. Consideration of Site Review for Davey's Auto located at 2775 Commercial Drive.**
- 6. Consideration of Accessory Building for Sparta Area School District located at 925 N Black River Street.**
- 7. Consideration of CSM Approval for East Side Business Park located on Sherry Lynn Lane.**
- 8. Consideration of CSM Approval for Lot Division located at 701 N Benton Street.**
- 9. Items for Future Consideration**
- 10. Adjourn**

A possible quorum of the Common Council may be in attendance at this meeting
but no action will be taken by the Council

Posted: 9-8-2020

CITY OF SPARTA
PLANNING COMMISSION MINUTES
August 5, 2020

PRESENT: Mayor Gust, Kevin Riley, John Ambro, John Sund, Norm Stanek, Jim Church

ABSENT: Toni Wissestad

ALSO PRESENT: Todd Fahning, Mark Sund, Emilee Nottestad, Ignacio Morales

Mayor Gust called the meeting to order at 6:30 p.m.

Roll call was done by the Clerk.

A motion was made by Norm Stanek and seconded by John Ambro to approve the consent agenda consisting of the minutes from the regular meeting on July 8, 2020. Motion carried 6-0.

A Public Hearing regarding approving a Conditional Use Permit for an extension of a liquor license to include a patio at LaBamba Restaurant located at 4105 Theater Road per Zoning Ordinance 12-36 was open for comments.

The owner was in the audience and was for this extension.

No other comments were made so the Public Hearing was closed at 6:33.

A motion was made by Norm Stanek and seconded by John Ambro to approve the Conditional Use Permit for the extension of a liquor license to include a patio at LaBamba Restaurant located at 4105 Theater Road per Zoning Ordinance 12-36. Motion carried 6-0.

A motion was made by Kevin Riley and seconded by Norm Stanek to approve the CSM for RBI Rentals, LLC for property located on Icecap Road. Motion carried 6-0.

Items mentioned for future consideration were:

Wondering about the weeds growing between the sidewalk and the curb and who takes care of this.

A motion was made by John Ambro and seconded by Kevin Riley to adjourn at 6:41 p.m. Motion carried 6-0.

Respectfully submitted,

Julie Hanson
City Clerk

CITY OF SPARTA

201 W. OAK STREET SPARTA, WI 54656

PERMIT NO. _____

APPLICATION FOR SIGN PERMIT

THE UNDERSIGNED HEREBY MAKES APPLICATION TO ERECT A SIGN SPECIFIED HEREIN, AND DOES AGREE THAT THE PROVISIONS OF THE SIGN ORDINANCE, BUILDING CODE AND ZONING ORDINANCE WILL BE COMPLIED WITH WHETHER THE SAME ARE SPECIFIED HEREIN OR NOT.

GENERAL

LOCATION: 530 S Black River St. Sparta, WI			
OWNER: Terry Herbst	PHONE: 608-386-8602		
ADDRESS: 1808 E Main Street	CITY Onalaska	STATE WI	ZIP 54650
SIGN ERECTOR: La Crosse Sign Group	PHONE 608-781-1450		
ADDRESS: 1450 Oak Forest Dr	CITY Onalaska	STATE WI	ZIP 54650
ELECTRICAL CONTRACTOR:	PHONE		
ADDRESS:	CITY	STATE	ZIP

USE

TYPE OF SIGN: wall sign		
FOOTAGE ALONG FRONT PROPERTY LINE:	FT. X .8 SQUARE FEET=	MAX. AREA
LENGTH OF BUILDING:	FT. X 1.5 SQUARE FEET=	MAX. AREA
TOTAL SQUARE FOOTAGE OF SIGN: 27.7		
HEIGHT OF SIGN: 30" tall x 11' 1" long per artwork		
ESTMATED COST OF SIGN: \$1600.00		
TOTAL SQUARE FOOTAGE OF ALL SIGNS ON PROPERTY:		

LOCATION

	REQUIRED	PROVIDED
SIDE YARD (W/N)		
SIDE YARD (S/E)		
FRONT YARD		

APPLICATION

1. A \$30.00 NON-REFUNDABLE APPLICATION/PERMIT FEE
2. TWO COPIES OF A PLOT PLAN DRAWN TO SCALE SHOWING:
 - a. THE LOCATION OF THE PROPOSED SIGN
 - b. THE LOCATION AND THE TYPES OF ALL OTHER EXISTING OR PROPOSED SIGNS
 - c. BUILDING AND DRIVEWAYS EITHER EXISTING OR PROPOSED
3. TWO COPIES OF A SCALE DRAWING (NOT LESS THAN 1/4" = 1' 0") OF THE PROPOSED SIGN SHOWING EXACTLY HOW THE PROPOSED SIGN WILL LOOK AND IT'S HEIGHT ABOVE GROUND. THE PLANNING COMMISSION MAY ACCEPT PHOTOGRAPHS OF SUFFICIENT SIZE AND CLARITY IN LEAU OF A DRAWING.

PLAN COMMISSION APPROVAL

APPROVAL DATE:	APPROVED #	MODIFIED #	DENIED #
COMMENTS:			

IT IS HEREBY AGREED BY THE UNDERSIGNED AS OWNER, HIS AGENT OR SERVANT, AND THE CITY OF SPARTA, THAT FOR AND IN CONSIDERATION OF THE PREMISES AND OF THE PERMIT TO CONSTRUCT, ERECT, ALTER OR INSTALL AND FOR THE USE OF ADVERTISING STRUCTURE DESCRIBED ABOVE TO BE ISSUED AND GRANTED BY THE BUILDING INSPECTOR THAT THE WORK THEREON WILL BE DONE IN ACCORDANCE WITH THE DESCRIPTION HERIN SET FORTH IN THIS STATEMENT, AND AS MORE FULLY DESCRIBED IN THE SPECIFICATIONS AND PLANS HEREIN FILED, AND IS FURTHER AGREED TO CONSTRUCT, ERECT, ALTER OR INSTALL IN STRICT COMPLIANCES OF THE CITY OF SPARTA.

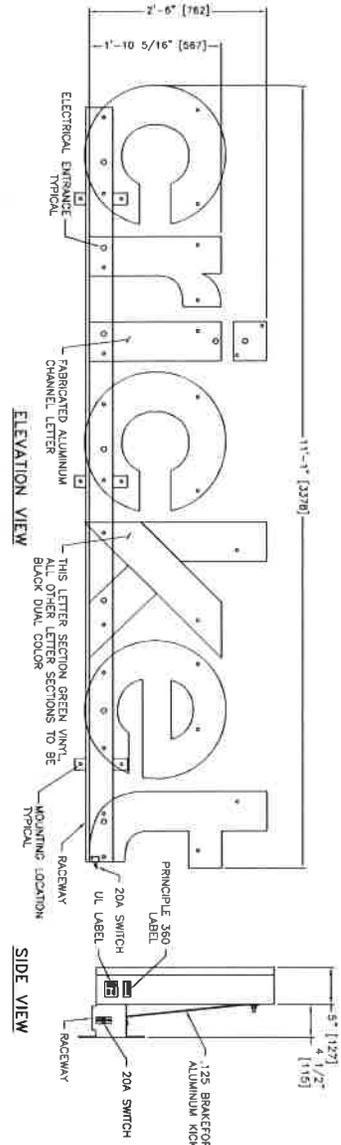
Hannah Haggerty - La crosse Sign

 OWNER/AGENT

08/12/2020

 DATE

REV	DESCRIPTION	DATE
1	1/2" CRICKET LETTERS ON RACEWAY	
2	2 1/2" x 1/2" S.S. THREADED ROD @ 12" LONG W/ HARDWARE	4/5
3	TROUGH-UP PAINT	4/5
4	PRODUCE PATTERN (SAND TOLL-SIZE PAPER COPY OF MOUNTING PATTERN)	4/5
5	ONBOARD BOXES (PACKAGE INSTALL KIT EXCEPT PRODUCE PATTERN)	4/5
6	ONBOARD TIRE (PACKAGE PRODUCE PATTERN)	4/5
7	INSTALL DRAWING (PRINTED 11/5/17)	1



RACEWAY NOTE:
ALL RACEWAYS TO BE PAINTED TO MATCH CORRESPONDING FASCIA COLORS.

- INSTALLATION INSTRUCTIONS:**
1. SECURE POUNCE PATTERN TO WALL.
 2. DRILL MOUNTING AND ELECTRICAL HOLES INTO WALL.
 3. MOUNT LETTERS AND ELECTRICAL HARDWARE TO WALL.
 4. MOUNT LETTERS/PATTERN TO WALL AS PER PATTERN.
 5. ADD A BEAD OF NON-HARDENING CAULK AROUND EACH HOLE WHERE MOUNTING HARDWARE PENETRATES THE WALL TO INSURE WATER TIGHTNESS.
 6. MAKE ALL PRIMARY ELECTRICAL CONNECTIONS.
 7. WIRE ALL ELECTRICAL COMPONENTS TO THE RACEWAY.
 8. ATTACH WIRE AND POWER SUPPLY COVERS.
 9. CLEAN SITE OF ALL INSTALLATION DEBRIS.
 10. CLEAN SIGN.
 11. INSTALLATION TO MEET ALL CODE REQUIREMENTS.

DIMENSIONS ON THIS DRAWING ARE DISPLAYED IN ENGLISH UNITS FOLLOWED BY METRIC UNITS IN BRACKETS. ALL METRIC UNITS HAVE BEEN ROUNDED TO THE NEAREST WHOLE MILLIMETER.

CONSTRUCTION & INSTALLATION OF CHANNEL LETTERS SHALL CONFORM TO ALL UL, NEC, CSA AND LOCAL CODES.

POUNCE PATTERN SHALL BE SUPPLIED BY LETTERS MANUFACTURER.

S.S. MOUNTING HARDWARE CHART

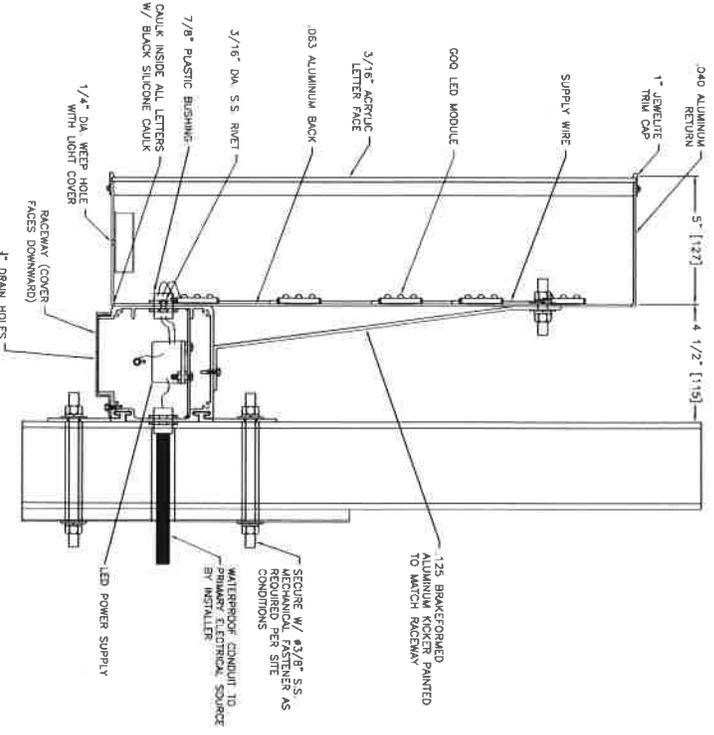
ITEM	QUANTITY	DESCRIPTION
1	1	1/2" BOLTS THRU WALL
2	1	1/2" LAG BOLTS W/SHIELDS
3	1	1/2" LAG BOLTS
4	1	1/2" TONGUE BOLTS

CREATES AND WEIGHTS

AREA: 27.7 SQ FT (2.6 SQ METERS)
ESTIMATED COATED VOLUME: 44.3 CUBIC FT (1.3 CUBIC M)
ESTIMATED WEIGHT: 17 LBS (5.1 KG)
ESTIMATED UNCOATED WEIGHT: 51 LBS (23.7 KG)

SIGN ELECTRICAL INFORMATION

LED: (51) COO 3 LED
LED POWER SUPPLY: (1) MEANWELL LPV-60-12
TOTAL CONNECTION LOAD: 1.2A @ 120V
CIRCUITS REQUIRED: (1) 20 AMP
ALL ELECTRICAL COMPONENTS TO BE UL LISTED
GROUNDING PER UL AND NEC SPECIFICATIONS



CRICKET CR-FL-30B-R (INSTALL) 30" BLACK FACE-LIT CHANNEL LETTERS ON RACEWAY

principle

Principle Group
2035 Lakeside Centre Way
Suite 250
Knoxville, TN 37922
Main: 865.692.4058
Toll-free: 877.692.4058
www.principleglobal.com

The following document is for design intent purposes only and is the intellectual property of Principle Group. It shall not be reproduced and/or distributed for any purpose without prior written approval. The manufacturer shall be responsible for all structural, electrical, mechanical, and foundation engineering. These documents were not produced under an engineering services agreement.

REV	DATE	INITIALS	DESCRIPTION OF CHANGE
E	8-24-17	JLS	INVERT RACEWAY. REMOVE POWER SUPPLY AND BOX FROM SHIPPING LIST.
D	8-1-16	JLS	CHANGED RACEWAY SPEC TO EXTERN METAL SUPPLY 4-1/2"x4-1/2". CHANGED LOCATION OF MOUNTING HOLES & ELECTRICAL ENTRANCE HOLES TO FIT NEW RACEWAY.
C	4-20-16	JLS	CHANGED ELECTRICAL SPECS TO COO.
B	1-25-14	JLS	CHANGED LOCATION OF MOUNTING HOLES TO MATCH ACROSS EACH LETTER VERSION.
A	9-19-14	JLS	REVISED LETTER SECTION DETAIL.
PRP	6-19-14	JHP	DRAWING CHECKED & APPROVED.

Customer: CRICKET
Drawing by: JLS Date: 06/16/2014
Sheet 1 of 1 Drawing: C093697



UID: 70144980

Client: Cricket - NR1

Project: BAU

Title: Exterior Signage

Site address: 530 S Black River St
Sparta, WI

Project manager: Amy Faucette

Drawn by: CL

Date: 7/10/20

Revision: Initial

As the Owner/Lessor/Mortgage or Security interest holder, I hereby acknowledge and accept the installation of signs as illustrated within the renderings shown within this brand proposal. By signing below I consent to the installation of signs at the premises and property address listed within this brand proposal and acknowledge that I have reviewed all details of this brand proposal in its entirety.

Signature of (Owner/Lessor/Mortgage or Security Interest Holder)

Print Name

Date

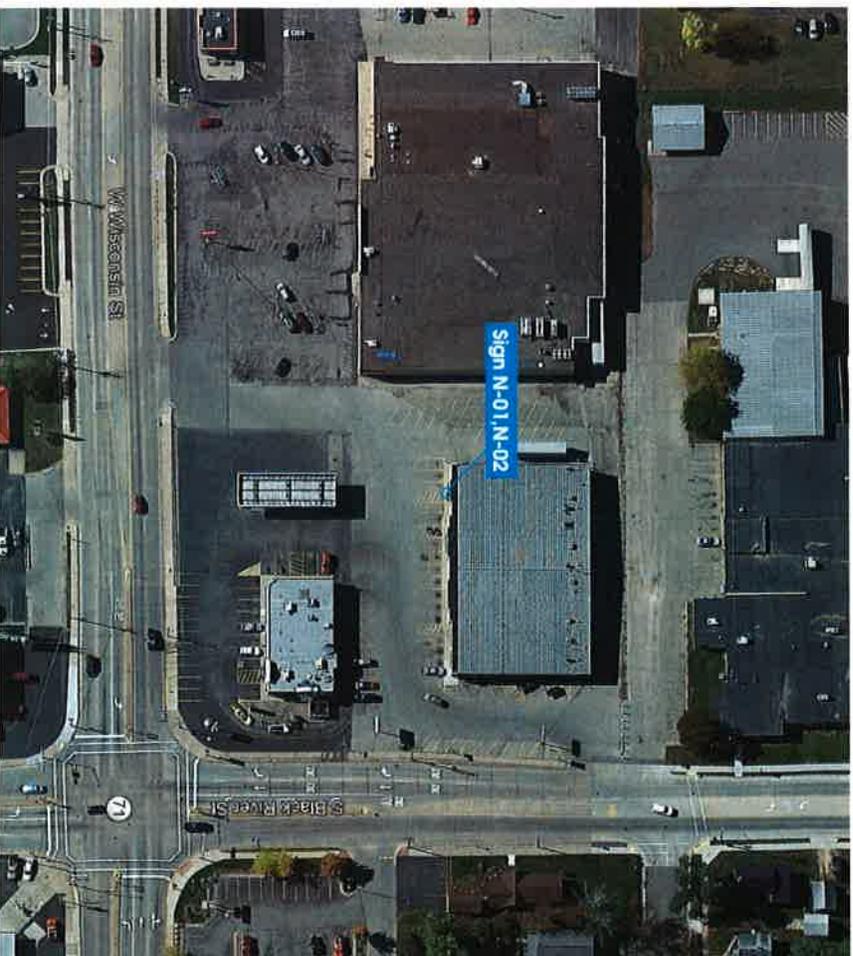


NOTE: Quote does not include removal of any existing signage, patching or painting of the existing facade. Cricket requires that any existing signs be removed and that facade is patched and painted by the dealer, or handord to match the color of existing fascia prior to the new Cricket signs being installed by Principle USA Inc. Please contact your Field Activity Manager if you would like Principle to quote removal of any existing signage, or patching and painting of the facade.

Exterior Site Plan | Summary



Sign	Existing sign	SF	Recommended sign	SF
N-01	No Existing	N/A	CR-FL-30B-R	27.71
N-02	No Existing		AR-DV-DD Transom Bar Hours of Operation	






2035 Lakeside Centre Way Suite 250
 Knoxville, TN 37922
 T+865 692 4058 F+865 692 4104

Revision notes:



Client	Checked by	Drawn by	CL
Project	As Built	Scale	NTS
Title	TBD	Revision	
Date	7/10/2026	Page	2

Cricket Wireless Code Check Form

Customer Name: **MFK LLC** Zone: **HB Highway Business**
 Site ID #: **70144980** Jurisdiction: **City of Sparta**
 Address: **530 S Black River St** Combined Name:
 City: **Sparta** State: **WI** Phone:
 Zip: **54656** Fax:
 E-mail:

Are ground signs allowed? Yes No
 Pole Monument Distance to adjacent ground signs: **N/A**

Maximum SF allowed: **N/A**
 Maximum setback: **N/A** From: **N/A** Vase/ally Triange: **N/A**
 Maximum Overall Height: **N/A**
 Lighting Restrictions: **N/A**
 How many faces count toward sign area? **N/A**

Notes: **Maintenance site contract. Temporary panel availability. All signs subject to UL review and approval**

Wall Signs

Are wall signs allowed? Yes No Square footage based on 2' overhang existing footprint % of wall area
 Maximum SF allowed: **NTE SF as above** Maximum Projection: **16 inches**
 Maximum Height: **NE Tooling** Max. Letter Height: **Not regulated** Max. Logo Height: **Not regulated** Max. Sign Width: **Not regulated**
 Can sign project above roofline? Yes No If yes, how much? **N/A**
 Lighting Restrictions: **No flashing, blinking or animation**
 UL Label required on sign? Yes No Is area transferable to another elevation? Yes No
 How is sign area calculated? **Smallest rectangular**

Fence Replacements

Can grandfathered status remain if fence are replaced? Yes No Are permits required if only replacing the sign? Yes No
 Are permits required if remodeling or repairing the sign? Yes No

Window Signs

Are window signs allowed? Yes No
 Sign count towards allowed sign sign SF? **No** Distance setback from glass to be measured as a window sign: **NTE 25% of glass area**
 Maximum SF allowed: **NTE 25% of glass area** Permit required for removable window signs: Yes No

Notes: **Permit required for removable window signs**

Permit Requirements

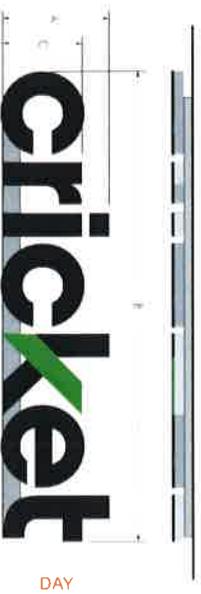
Permits can be applied for by: **Met** **Authorized Agent** **Contractor**
 License Required: **Business** **Contractors**
 Signature Required on Application: **Owner** **Agent** **Contractor**
 Documents Required: **Site Plan** **Elevation** **Sign Details** **Sealed Engineering** **Additional Professional Seals**
 Number of Document Copies: **3** Other permit fees: **None**
 Document Fee: **Standard** Cost of Permit: **\$300/sign**
 Length of time to secure permit: **See Notes** Other permit fees: **None**
 Is there a design review board that approves signs? Yes No

Notes: **Engineered drawings may be required by building inspector for wind load**
Permitting commission reviews all signs. After obtaining commission approval, permit is issued within 15 days

Revision notes:

2035 Lakeside Centre Way Suite 250
 Knoxville, TN 37922
 T+865 692 4038 F+865 692 4104

<h1 style="font-size: 2em; margin: 0;">cricket</h1>			
Client	Cricket - IPT	Drawn by	CL
Project	As Built	Scale	NTS
Title	TED	Revised by	-
Date	11/20/20	Page	3



DAY

Product Code	A	B	C	SF
CR-FL-30B-R	2'-6"	11'-4"	1'-10 5/16"	27.71



NIGHT

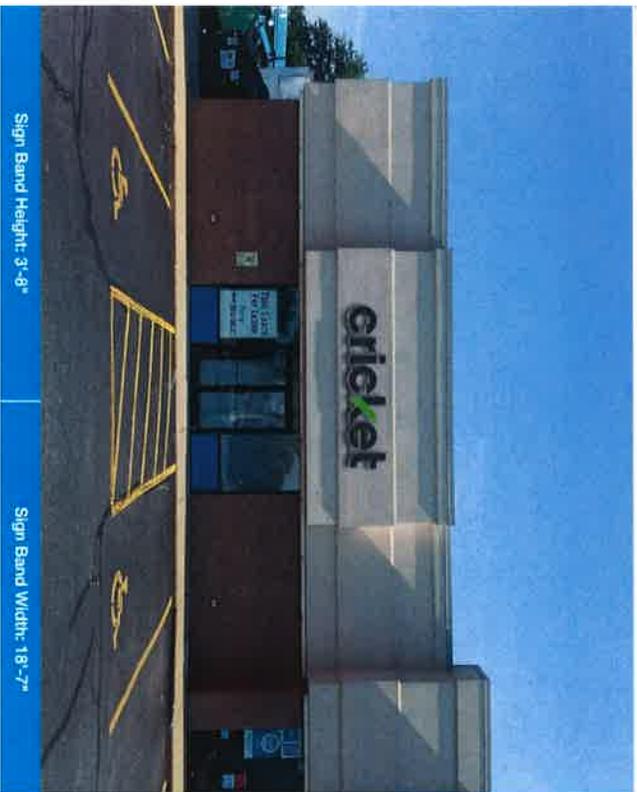
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Revision notes:

Proposed



If UL labels are required by code, they must be installed so that they are visible from the ground.

Existing



Letter Faces

- #2447 White diffuser acrylic
- 3M #3635-222 dual color film (first surface)
- 3M #3630-136 Lime Green (first surface)

Letter Returns

- 0-10 White pre-coated coil stock

Letter Trim Caps

- 1 Black Jewelle trim cap
- 1 Hollow Green trim cap by adjacent green film on letter face



Client	Cherokee - Mkt 1	Drawn by	
Project	As Built	Checked by	*
Title		Scale	NTS
Date	7/7/2020	Sheet/Sign	
		Page	4

Exterior Site Plan | Logo Vinyl with Store Hours



N-02

In situations where transom bar is higher than expected, make sure store hours are visible by moving copy 3 inches higher than bar.

For double door applications, graphics to be applied on the right hand door only as shown.



AR-DV-DD



Typography:

ITC Avant Garde Std Bk Light
- standard font for store hours

Color Specifications

3M # 7725-10 Opaque White
film applied first surface



3M # 180C 196 Apple Green
film applied first surface



2035 Lakeside Centre Way Suite 250
Knoxville, TN 37922
T +865 692 4058 F +865 692 4104

Revision notes:



Client	Checked - NPT	Drawn by	CL
Project	Av Bull	Scale	N/T/S
Title	TBS	Revision	-
Date	7/15/2020	Page	5



Bicycling Capital of America

PLAN COMMISSION APPLICATION FORM

Date: 8.26.20

Name/Company: Sparta Area School District

Address: 925 N. Black River St.

Phone: 608 487-4387

Purpose: Build 45' x 72' Pole Shed

Meeting Date: September 9th

Fee: \$ 75.00

CITY OF SPARTA

SEP 01 2020

PAID

Fee Schedule:

Conditional Use Permit:	\$75.00
Zoning Variance:	\$250.00
Request for Zoning Change	\$75.00
Development Review (business)	\$75.00
Subdivision Plat Review	\$150.00
PUD Review	\$150.00
Lot Division/CSM Approval	\$50.00
Grading/Filling/Stormwater	\$50.00
ET Zoning Permit Residential	\$50.00
ET Zoning permit Accessory	\$25.00
ET Zoning Permit Business, Industrial, Manufacturing	\$75.00

**Mail To:
Building & Zoning Office
201 W Oak Street
Sparta, WI 54656**

PH: (608) 269-4340

Note: All items for Plan Commission must be received the Monday prior to the scheduled meeting. (Usually the second Monday of every month.) All fees are due at the time of application and are non-refundable.

All site and building plans must be submitted no larger than 11" x 17".

Sparta School District
926 North Black River Street
Sparta, WI 54656

GENERAL NOTES

FOUNDATIONS

FOUNDATIONS SHALL NOT BE PLACED PRIOR TO CONFIRMATION OF THE SOIL TYPE AT A DEPTH OF THE FOOTING ELEVATION. THE CONTRACTOR SHALL PROVIDE TEST HOLE REPORT TO THE ENGINEER OF RECORD. THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2,000 PSF. SOIL TYPE IS PRESUMED TO BE SAND

COMPLETE NORMAL CLEARING AND GRUBBING OPERATION OVER THE ENTIRE BUILDING PAD AREA. THE BUILDING PAD AREA IS DEFINED AS AN AREA EXTENDING A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING LINES

REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF THE REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER SUCH AS ROOTS AND VEGETATION, AND RANDOM FILL MATERIALS SUCH AS WOOD, TINS, ASPHALT, MUCK, ETC.

FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557, LATEST EDITION) AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND ALL FOOTING EDGES

SIX INCHES MINIMUM GRANULAR MATERIAL TO BE PLACED UNDER THE FLOOR SLAB

WOOD TRUSSES

WOOD TRUSSES SHALL BE FABRICATED BY AN AUTHORIZED TRUSS MANUFACTURER IN ACCORDANCE WITH THE DESIGN(S) AS PREPARED BY THE ENGINEER OF RECORD

FIVE BOUND SETS OF ENGINEERING DRAWINGS, SHOWING CONFORMANCE TO THE DESIGN LOADS AND CODE DEFLECTION CRITERIA AND INDICATING MEMBER SIZES SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR DESIGN CONCEPT APPROVAL. DESIGN CALCULATIONS AND DRAWINGS ARE TO BE PREPARED BY AND BEAR THE SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED

DESIGN STANDARDS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NDS 2015 AND THE LATEST "DESIGN SPECIFICATION FOR METAL PLATE CONNECTION TO WOOD TRUSSES"

BOTTOM CHORD AND WEB BRACING REQUIREMENTS ARE TO BE DETERMINED BY THE TRUSS MANUFACTURER. BRACING TO BE INSTALLED BY THE GENERAL CONTRACTOR. CONSULT TRUSS MANUFACTURER FOR SIZE, LOCATION AND NAILING REQUIREMENTS BEFORE BIDDING

AT ALL ENDS OF THE BUILDING AND AT INTERVALS ALONG THE LENGTH OF THE BUILDING, AS DETERMINED BY THE TRUSS MANUFACTURER, "X" BRACING SHALL BE INSTALLED ALONG LATERALLY BRACED WEBS

ALL TRUSS SPANS ARE TO BE FIELD VERIFIED PRIOR TO FABRICATION OF TRUSSES

CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURE OF ROOF TRUSSES. ROOF TRUSSES TO BE ERECTED AND BRACED PER THE LATEST BCSP STANDARDS

ROOF FRAMING PLAN IS A SCHEMATIC ONLY. TRUSS MANUFACTURER IS TO PREPARE A TRUSS SETTING PLAN FOR CONTRACTOR'S USE IN FIELD

STRUCTURAL WOOD CONSTRUCTION

STRUCTURAL WOOD SHALL BE VISUALLY GRADED IN ACCORDANCE WITH ASTM D245. WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY A RECOGNIZED INSPECTION AGENCY

ALL WOOD SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15% PRIOR TO INSTALLATION

ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH EXTERIOR, IN CONTACT WITH THE GROUND, SHALL HAVE A PRESERVATIVE TREATMENT EQUAL TO 0.4 P.C.F. RETENTION OF PRESSURE INJECTED CCA

NO WOOD MEMBER SHALL BE CUT, NOTCHED, OR DRILLED WITHOUT SPECIFIC WRITTEN APPROVAL OF THE ENGINEER OF RECORD

ALL JOISTS AND RAFTERS SHALL BE SUPPORTED BY DIRECT END BEARING ON BEAMS, PARTITIONS, OR JOIST HANGERS. ALL ROOF AND FLOOR TRUSSES MUST BE LOCATED ABOVE WALL STUDS

DO NOT EMBED WOOD MEMBERS IN CONCRETE UNLESS THEY ARE TREATED

PLYWOOD SHALL BE Laid WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER ALL JOINTS.

PLYWOOD SHALL BE CAPABLE OF SUPPORTING DESIGN LOADS AT REQUIRED SUPPORT SPACING AND BEAR APPROPRIATE GRADING STAMP FROM AMERICAN PLYWOOD ASSOCIATION

PLYWOOD SHEAR WALL SHALL BE FASTENED TO SUPPORTS WITH 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED

PLYWOOD DIAPHRAGM SHALL BE FASTENED TO SUPPORTS WITH 10d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED

USE COMMON WIRE NAILS UNLESS NOTED OTHERWISE

ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHERS BETWEEN NUT AND WOOD

ALL FASTENERS USED FOR PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL

ALL NAILING SHALL CONFORM TO TABLE 2304.9 OF IBC 2015, UNLESS NOTED OTHERWISE

LAP ALL DOUBLE TOP PLATES A MINIMUM OF FOUR FEET AND FASTEN TOGETHER WITH MINIMUM TWELVE 10d NAILS

STEEL ROOF AND WALL PANEL

ROOF DECK TYPE: 29 GA. MAX-RIB

FASTENER TYPE: USE #12 x 1 1/2" FASTENER AT SUPPORTS

FASTENER SPACING: FASTENERS ARE TO BE 9" O/C AT ALL SUPPORTS AND (2) FASTENERS AT 9" O/C AT PANEL ENDS

FIELD CUT ALL METAL ROOF PANEL OPENINGS SHOWN ON THE CONSTRUCTION DOCUMENTS AND REINFORCE ALL OPENINGS GREATER THAN 9" DIAMETER WITH 2X6 SPF #2 FRAMING

DO NOT ATTACH OR HANG EQUIPMENT, MATERIALS, OR ANY LOADS TO METAL ROOF PANEL

WALL DECK TYPE: 29 GA. MAX-RIB

FASTENER TYPE: USE #12 x 1 1/2" FASTENER AT SUPPORTS

FASTENER SPACING: FASTENERS ARE TO BE 9" O/C AT ALL SUPPORTS AND (2) FASTENERS AT 9" O/C AT PANEL ENDS

FIELD CUT ALL METAL WALL PANEL OPENINGS SHOWN ON THE CONSTRUCTION DOCUMENTS AND REINFORCE ALL OPENINGS GREATER THAN 9" DIAMETER WITH 2X6 SPF #2 FRAMING

DO NOT ATTACH OR HANG EQUIPMENT, MATERIALS, OR ANY LOADS TO METAL ROOF PANEL

CONCRETE

TRANSIT MIXED CONCRETE SHALL CONFORM TO ASTM C94, SPECIFICATION FOR READY-MIXED CONCRETE

THE WATER CEMENT RATIO SHALL BE KEPT TO A MINIMUM AND CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES WHEN TESTED IN ACCORDANCE WITH ASTM C143

CONCRETE SHALL HAVE THE REQUIRED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C39

PORTLAND CEMENT SHALL CONFORM TO ASTM C150 - SPECIFICATION FOR PORTLAND CEMENT

FINE AND COURSE AGGREGATES SHALL CONSIST OF CLEAN HARD STRONG AND DURABLE INERT MATERIAL FREE OF INJURIOUS AMOUNTS OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33 - SPECIFICATION FOR CONCRETE AGGREGATES

MIXING WATER SHALL BE FREE OF ANY ACID, ALKALI, OIL OR ORGANIC MATERIAL THAT MAY INTERFERE WITH THE SETTING OF THE CEMENT

ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED. THE ENGINEER OF RECORD SHALL APPROVE ALL ADMIXTURE

REINFORCING BARS TO BE WELDED SHALL BE IDENTIFIED AS GRADE 60W

WELDED WIRE FABRIC SHALL CONFORM TO THE MOST CURRENT ASTM STANDARD

REINFORCING SHALL HAVE THE MINIMUM COVER REQUIREMENTS AS INDICATED IN ACI 318-14 WITH THE FOLLOWING MINIMUM VALUES:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
 EXPOSED TO EARTH OR WEATHER: #5 AND SMALLER = 1 1/2"
 #6 AND LARGER = 2"

ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED, IN ACCORDANCE WITH ACI DETAILING MANUAL, LATEST EDITION (SP-66)

ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WIRED TOGETHER IN ACCORDANCE WITH "CRSI REINFORCING BAR DETAILING" (LATEST EDITION)

ALL CONCRETE SHALL CURE A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF THE CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND

SAW CUTTING OF CONTROL JOINTS IS TO BE PERFORMED AS SOON AS CONDITIONS PERMIT, BUT NO MORE THAN 12 HOURS AFTER THE CONCRETE IS POURED

PROVIDE STANDARD HOOKED DOWELS IN WALL FOOTINGS WITH EQUAL SIZE AND SPACING AS VERTICAL WALL STEEL, UNLESS NOTED OTHERWISE

ALL CONCRETE SLABS SHALL BE REINFORCED AS INDICATED ON THE DRAWINGS. FIBER REINFORCED CONCRETE MAY BE USED IN THE FLOOR SLABS IN ADDITION TO THE REQUIRED REINFORCING AT DOSAGE RATES ACCORDING TO SUPPLIERS

USE NON-SHRINK, NON-METALLIC GROUT UNDER BASE PLATES

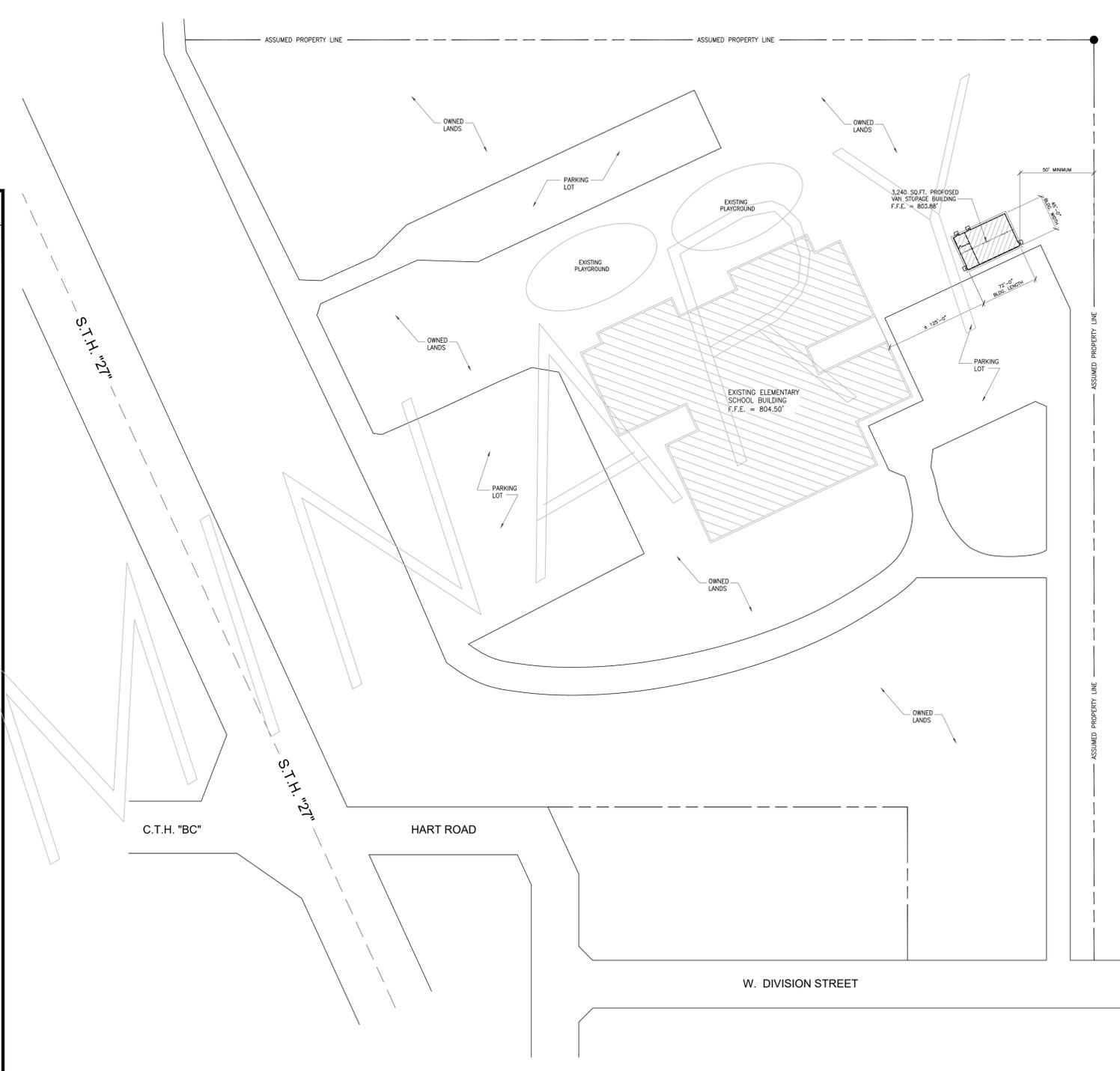
DIMENSIONS OF THE FINISHED PRODUCT SHALL BE WITHIN THE LIMITS RECOMMENDED BY ACI 117

THE CONCRETE CONTRACTOR SHALL COORDINATE ALL OTHER TRADES FOR SIZE AND LOCATION OF ALL OPENINGS IN WALLS AND FLOORS. ALL OPENINGS IN STRUCTURAL CONCRETE SHALL BE DETAILED OR APPROVED BY THE ENGINEER

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED

- NOTES: 1) NORMAL WEIGHT CONCRETE
 2) CLEAR COVER > BAR DIAMETER
 3) MINIMUM SPACING S >= BAR DIA.
 W/STIRRUPS
 4) MINIMUM SPACING S >= 2* BAR DIA.
 W/O STIRRUPS
 5) f'c = 3000 PSI, Fy = 60,000 PSI
 6) FOR TOP BARS MULTIPLY BY 1.3
 7) UNCOATED REINFORCING BARS

BAR SIZE	MIN. LAP LENGTH (INCHES)
3	22
4	29
5	36
6	43
7	50
8	57



1 SITE PLAN
 Scale: 1" = 80'-0"
 N
 S
 W
 E

DRAWING INDEX			
SHEET NO.	DESCRIPTION	REV. NO.	REVISION DATE
C1	COVER SHEET - GENERAL NOTES AND SITE PLAN		
A1	FOUNDATION PLAN AND DETAILS		
A2	FLOOR PLAN AND DETAILS		
A3	EXTERIOR BUILDING ELEVATIONS		
A4	BUILDING SECTIONS AND DETAILS		
A5	BUILDING SECTIONS AND DETAILS		
A6	BUILDING SECTIONS AND DETAILS		

ENGINEER

REVISIONS

For:

BRICKL BROS.
 Designers | Construction Managers | Builders
 400 Brick Road | West Salem, WI 54689 | (608) 788-8391 | brickbros.com

DRAWINGS ARE:
PRELIMINARY

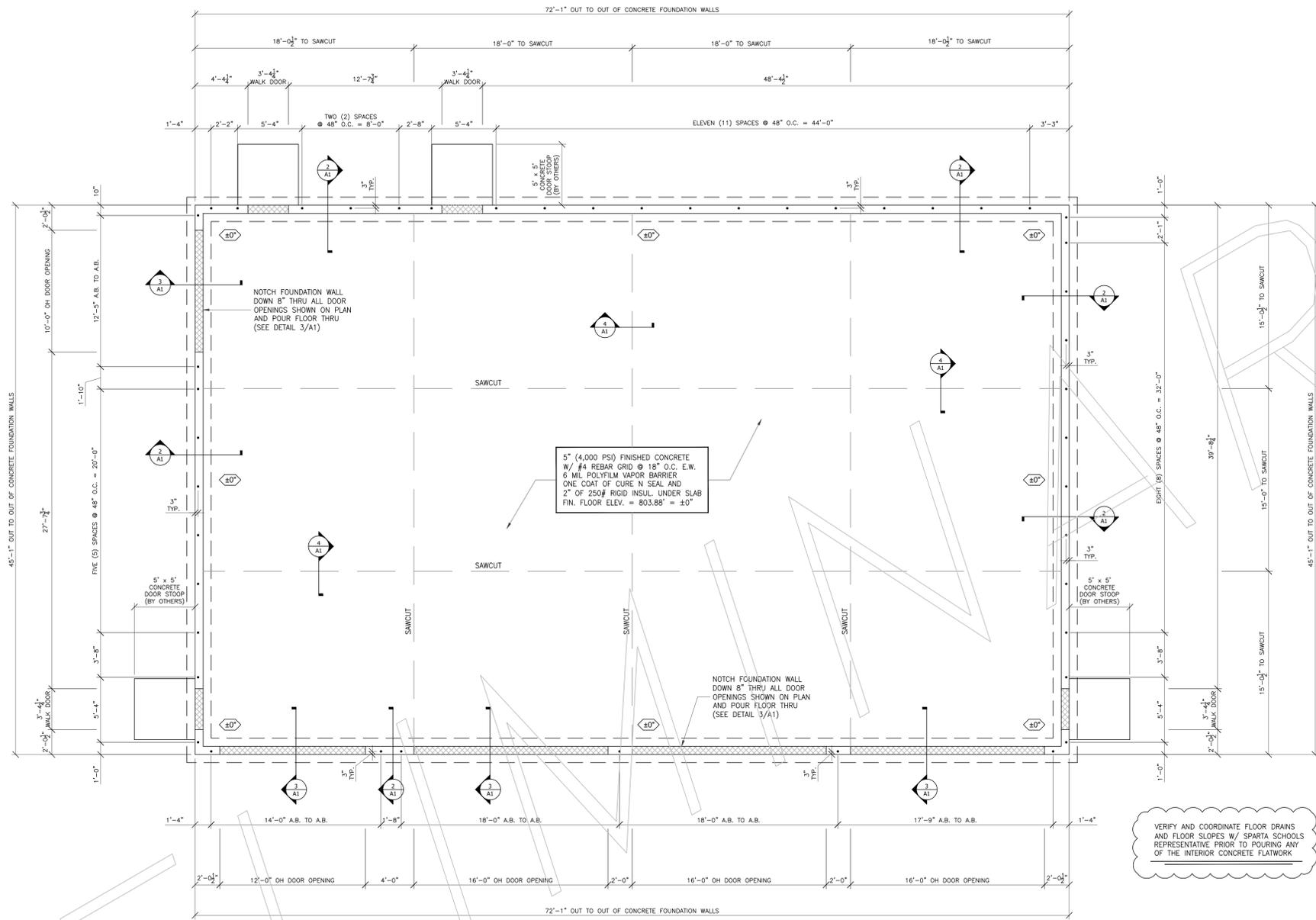
Sparta School District
 926 North Black River Street
 Sparta, WI 54656

JOB NO.: #200097
 BY: David Mayer
 DATE: 09-03-2020
 SFT: Duane Luethe

DRAWING NUMBER
 1 of 1

SHEET NUMBER
C1

PLOT DATE: 9/3/2020 4:17:15 PM

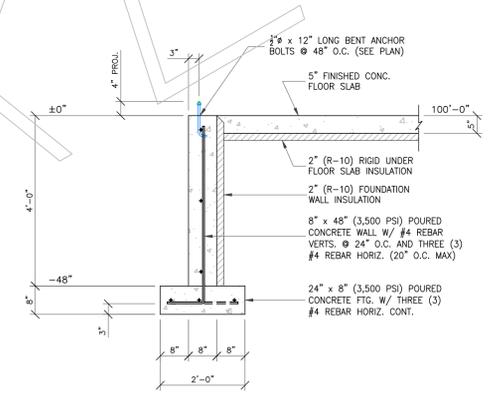


1 FOUNDATION PLAN
Scale: 3/16" = 1'-0"

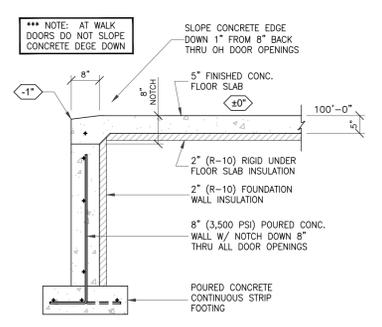
INSTALL A FOUNDATION GROUND ROD. VERIFY LOCATION WITH ELECTRICAL CONTRACTOR



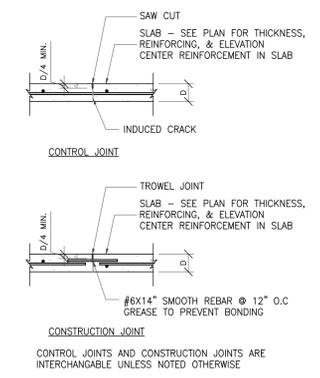
2 8" x 48" FOUNDATION WALL DETAIL
Scale: 1/2" = 1'-0"



3 FOUNDATION WALL AT DOOR OPENINGS
Scale: 1/2" = 1'-0"



4 CONTROL JOINT DETAILS
Scale: NONE



ENGINEER

PLOT DATE: 9/3/2020 4:17:19 PM

REVISIONS

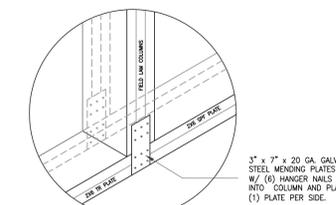
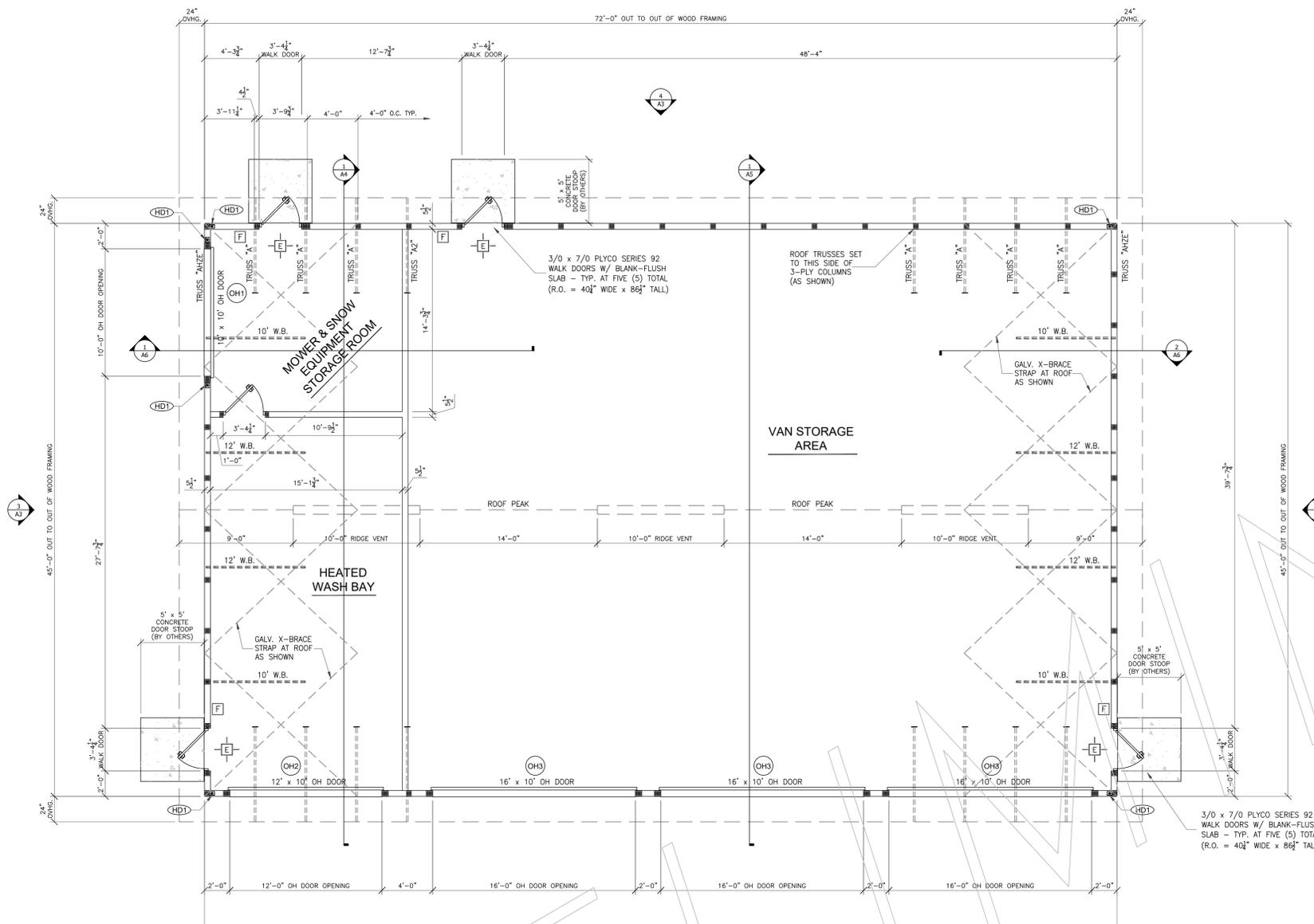
For:

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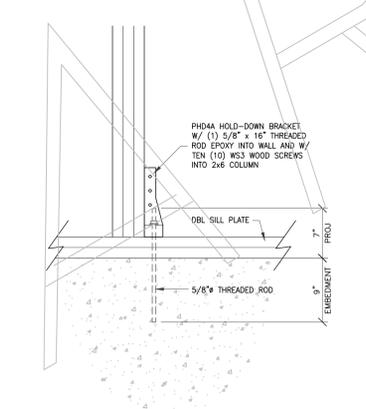
DRAWINGS ARE:
PRELIMINARY

Sparta School District
926 North Black River Street
Sparta, WI 54656

JOB NO.: #200097
BY: David Mayer
DATE: 09-03-2020
SFT: Duane Luethke
DRAWING NUMBER
1 of 6
SHEET NUMBER
A1



2 COLUMN TO PLATE DETAIL
Scale: 1" = 1'-0"



3 HOLD DOWN DETAIL
Scale: 1" = 1'-0"

NOTE: PERMANENT AND TEMPORARY TRUSS BRACING IS NOT SHOWN ON THE PLAN AND IS THE RESPONSIBILITY OF THE ERECTOR TO COORDINATE

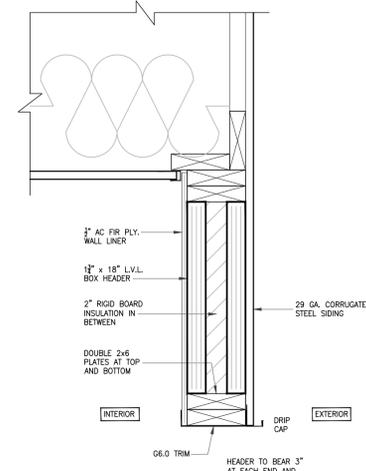
HOLD DOWN NOTE:
 (HDT) = USP #PHD44 HOLD-DOWN W/ ONE (1) 3/8" x 16" LONG A307 THREADED ROD INTO CONCRETE WITH 7" PROJECTION ABOVE CONCRETE (9" EMBEDMENT) FASTEN TO VERTICAL COLUMNS WITH TEN (10) USP #ANS-3 (4" x 3") WOOD SCREWS TYPICAL AT () LOCATIONS (SEE PLAN AND DETAIL 3 ON SHEET A2)

1 FLOOR PLAN
Scale: 3/16" = 1'-0"

SYMBOL	DESCRIPTION
	SINGLE FACE EXIT LIGHT TYPICAL AT TWELVE (12) LOCATIONS
	CLASS ABC FIRE EXTINGUISHER ON WALL MOUNT BRACKET TYPICAL AT TWELVE (12) LOCATIONS

R VALUE	MATERIAL
10.0	FOUNDATION WALL INSULATION (2" RIGID)
10.0	UNDER FLOOR SLAB INSULATION (2" RIGID)
40.0	ROOF INSULATION (SEE SECTIONS)
21.0	WALL INSULATION (SEE SECTIONS)

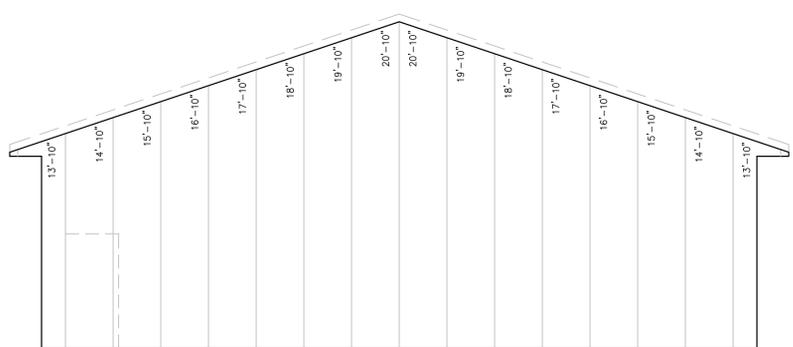
OH DOOR KEY	DESCRIPTION
(OH1)	10/0 x 10/0 - MODEL #3216 (OR EQUAL) "WHITE" MICRO-GROOVED COMMERCIAL STEEL (R-17.54) URETHANE INSULATED OH DOOR W/ 2" TRACKS, TORSION SPRINGS, HEAVY HARDWARE, STRUTS, PERIMETER WEATHER STRIP, AND LIFT-MASTER #MTS0111U MEDIUM DUTY COMMERCIAL OPERATOR W/ WALL STATION, SAFETY SENSORS, AND REMOTE CONTROL TYPICAL AT ONE (1) IN MOWER STORAGE AREA
(OH2)	12/0 x 10/0 - MODEL #3216 (OR EQUAL) "WHITE" MICRO-GROOVED COMMERCIAL STEEL (R-17.54) URETHANE INSULATED OH DOOR W/ 2" TRACKS, TORSION SPRINGS, HEAVY HARDWARE, STRUTS, PERIMETER WEATHER STRIP, AND LIFT-MASTER #CTS0111S CARWASH OPERATOR W/ WALL STATION, SAFETY SENSORS, AND REMOTE CONTROL TYPICAL AT ONE (1) IN MOWER STORAGE AREA
(OH3)	16/0 x 10/0 - MODEL #3216 (OR EQUAL) "WHITE" MICRO-GROOVED COMMERCIAL STEEL (R-17.54) URETHANE INSULATED OH DOOR W/ 2" TRACKS, TORSION SPRINGS, HEAVY HARDWARE, STRUTS, PERIMETER WEATHER STRIP, AND LIFT-MASTER #MTS0111U MEDIUM DUTY COMMERCIAL OPERATOR W/ WALL STATION, SAFETY SENSORS, AND REMOTE CONTROL TYPICAL AT THREE (3) IN VAN STORAGE AREA



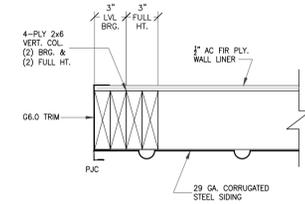
6 OH DOOR HEAD DETAIL
Scale: 1-1/2" = 1'-0"



4 WEST GABLE STEEL
Scale: 3/16" = 1'-0"



5 EAST GABLE STEEL
Scale: 3/16" = 1'-0"



7 OH DOOR JAMB DETAIL
Scale: 1-1/2" = 1'-0"

ENGINEER

REVISIONS

For:

BRICKL BROS.
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DRAWINGS ARE:
PRELIMINARY

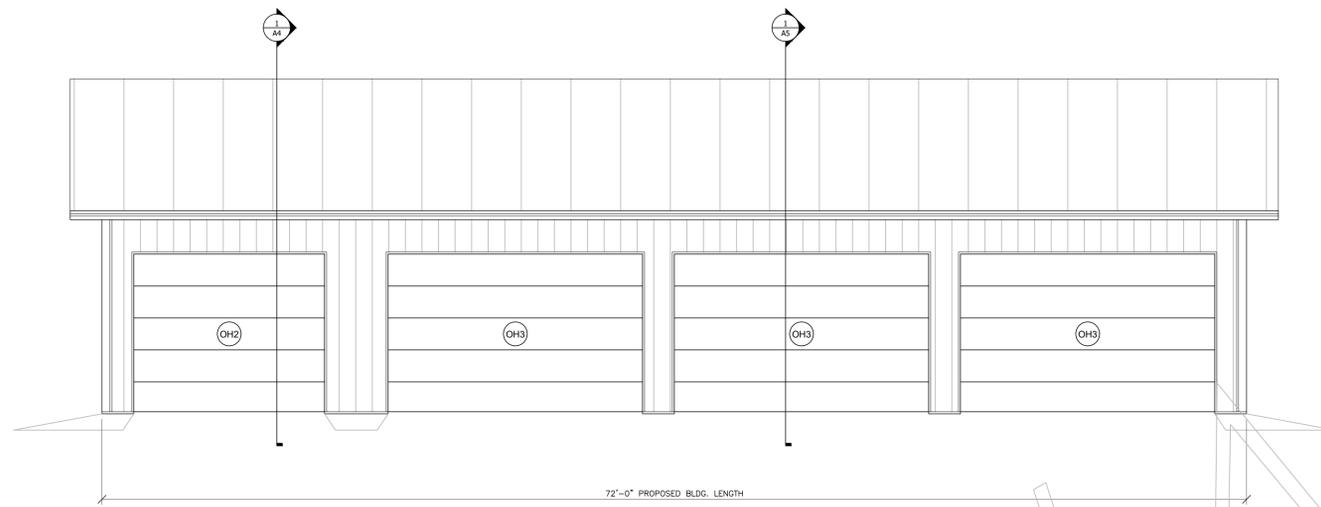
Sparta School District
926 North Black River Street
Sparta, WI 54656

JOB NO.: #200097
BY: David Mayer
DATE: 09-03-2020
CPT: Duane Luethe

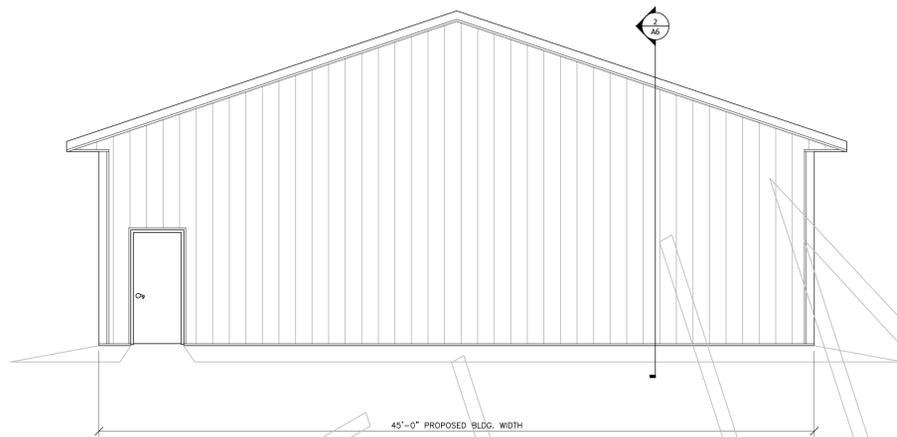
DRAWING NUMBER
2 of 6

SHEET NUMBER
A2

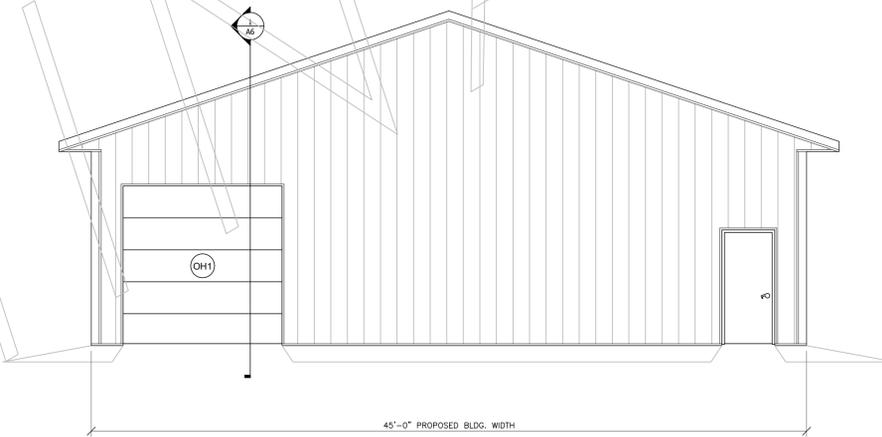
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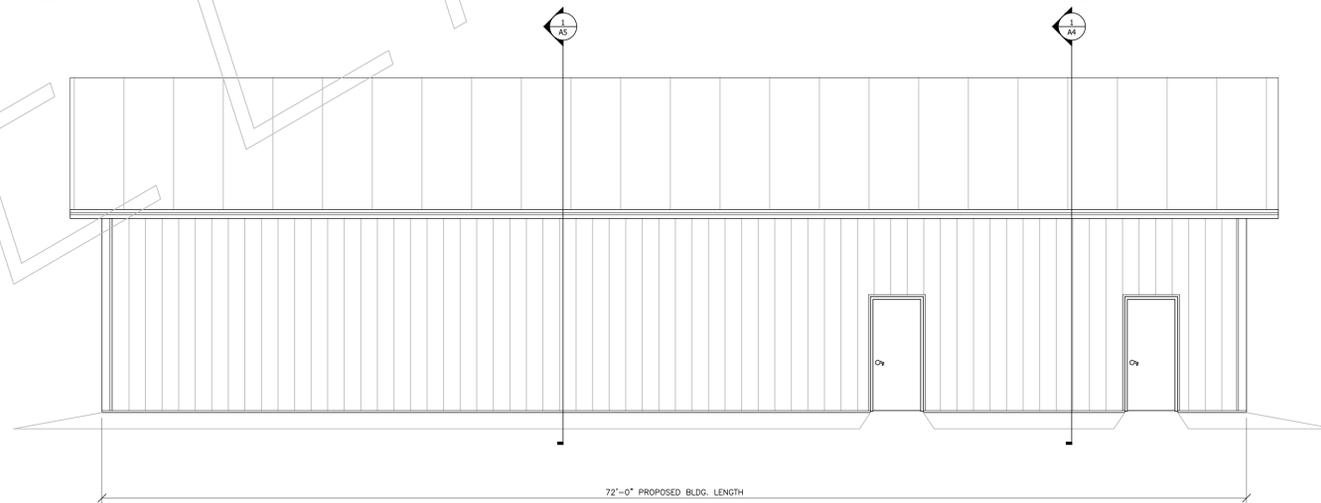
1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



2 EAST ELEVATION
Scale: 3/16" = 1'-0"



3 WEST ELEVATION
Scale: 3/16" = 1'-0"



4 NORTH ELEVATION
Scale: 3/16" = 1'-0"

ENGINEER
PLOT DATE: 9/3/2020 4:17:29 PM

REVISIONS
△

For:

DRAWINGS ARE:
PRELIMINARY

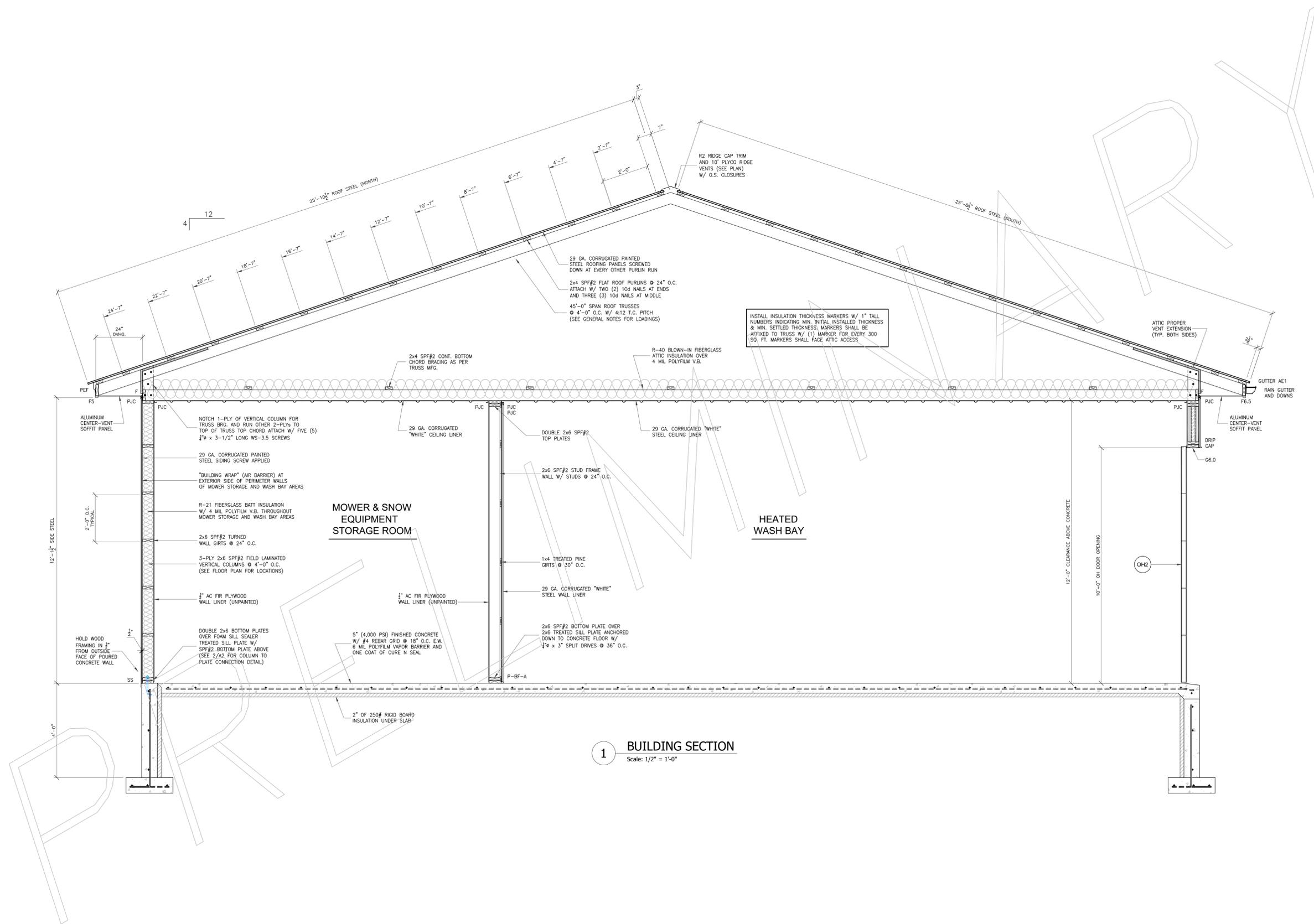
Sparta School District
926 North Black River Street
Sparta, WI 54656

JOB NO: #200097
BY: David Mayer

DATE: 09-03-2020
SFT: Duane Lueth

DRAWING NUMBER
3 of 6

SHEET NUMBER
A3



1 BUILDING SECTION
 Scale: 1/2" = 1'-0"

ENGINEER

REVISIONS

For:

BRICKL BROS.
 Designers | Construction Managers | Builders
 400 Brook Road | West Salem, WI 54686 | (608) 788-8886 | brickbros.com

DRAWINGS ARE:
PRELIMINARY

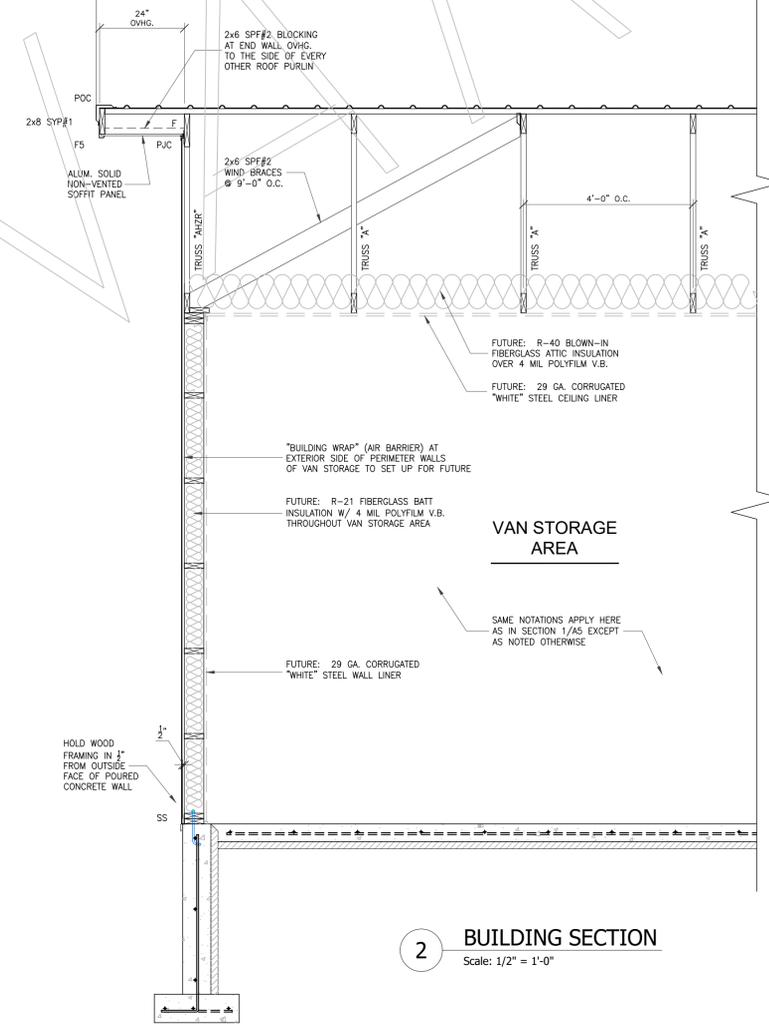
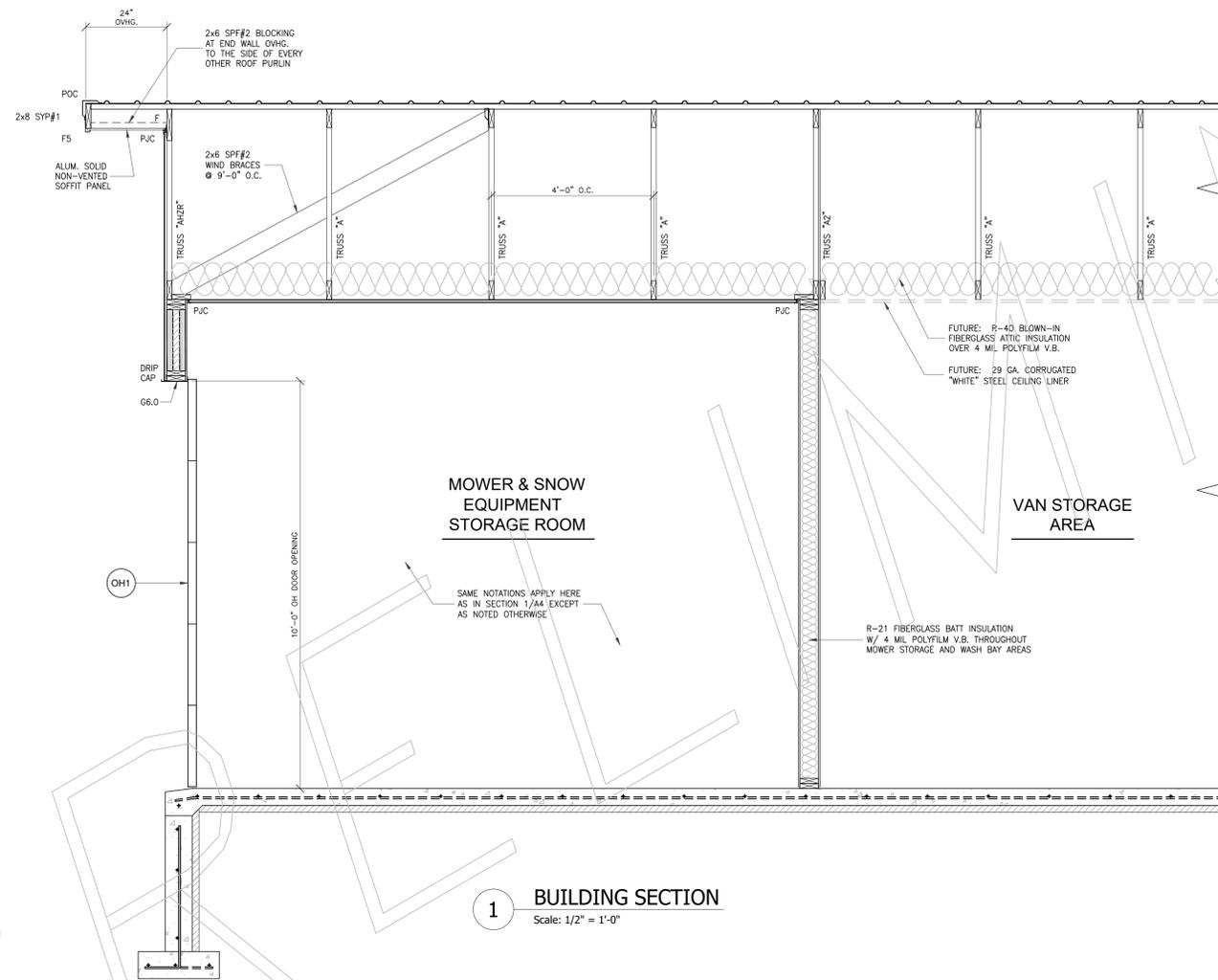
Sparta School District
 926 North Black River Street
 Sparta, WI 54656

JOB NO.: #200097
 BY: David Mayer
 DATE: 09-03-2020
 SUPV: Duane Luethke

DRAWING NUMBER
 4 of 6

SHEET NUMBER
A4

PLOT DATE: 9/3/2020 4:17:34 PM



ENGINEER

PLOT DATE: 9/3/2020 4:17:44 PM

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PRELIMINARY

Sparta School District
926 North Black River Street
Sparta, WI 54656

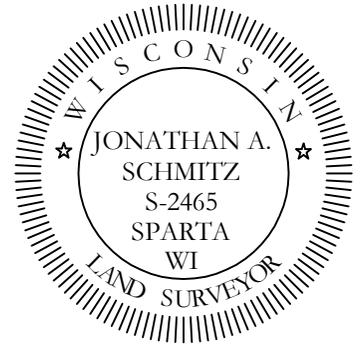
JOB NO.: #200097
BY: David Mayer
DATE: 09-03-2020
SUPT: Duane Luethke

DRAWING NUMBER
6 of 6

SHEET NUMBER
A6

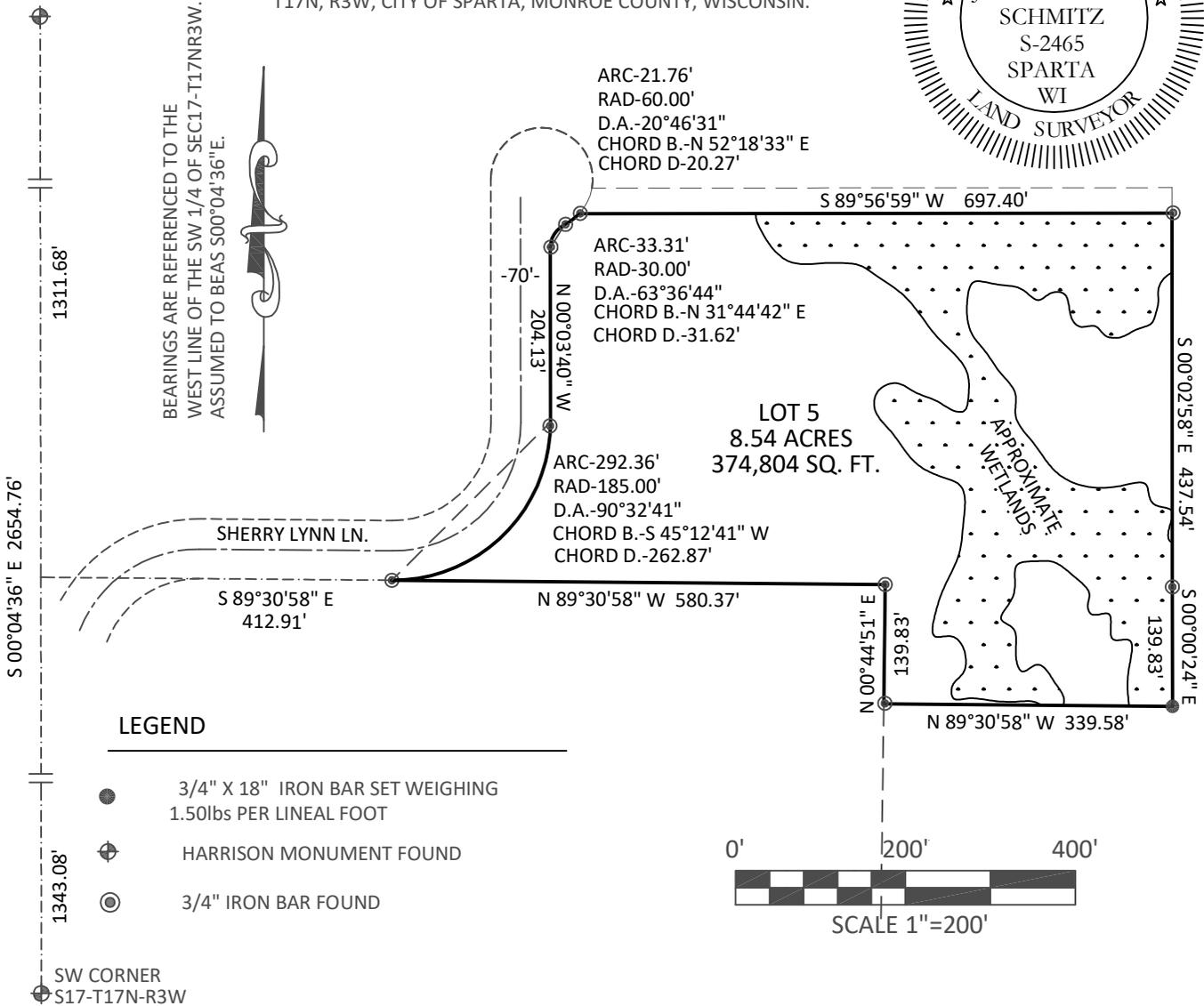
CERTIFIED SURVEY MAP #

PART OF 28CSM085 AS DOCUMENT #674936 AND LOT OF 20CSM181 AS DOCUMENT #570186. LOCATED IN THE NW ¼ OF THE SW ¼ AND THE SW ¼ OF THE SW ¼ OF SECTION 17, T17N, R3W, CITY OF SPARTA, MONROE COUNTY, WISCONSIN.



W 1/4 CORNER
S17-T17N-R3W

BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SW 1/4 OF SEC17-T17NR3W. ASSUMED TO BEAS S00°04'36"E.



CERTIFIED SURVEY MAP FOR THE CITY OF SPARTA
A PARCEL OF LAND CONTAINING 8.54ACRES(374,804 sq.ft.). PART OF 28CSM085 AS DOCUMENT #674936 AND LOT OF 20CSM181 AS DOCUMENT #570186. LOCATED IN THE NW ¼ OF THE SW ¼ AND THE SW ¼ OF THE SW ¼ OF SECTION 17, T17N, R3W, CITY OF SPARTA, MONROE COUNTY, WISCONSIN.

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 17; THENCE S 00°04'36" E ALONG THE WEST LINE OF THE SW 1/4 OF SAID SECTION 17 A DISTANCE OF 1311.68';THENCE S 89°30'58" E A DISTANCE OF 412.91' TO THE WEST LINE OF SHERRY LYNN LANE, THE BEGINNING OF A CURVE TO THE RIGHT AND THE POINT OF BEGINNING; THENCE ALONG SAID WEST LINE AN ARC LENGTH OF 292.36', SAID CURVE HAVING A RADIUS OF 185.00', A DELTA ANGLE OF 90°32'41" A CHORD BEARING OF N 45°12'41" E AND A CHORD DISTANCE OF 262.87'; THENCE N 00°03'40" W ALONG SAID WEST LINE A DISTANCE OF 204.13' TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG SAID WEST LINE AN ARC LENGTH OF 33.31', SAID CURVE HAVING A RADIUS OF 30.00', A DLETA ANGLE OF 63°36'44", A CHORD BEARING OF N 31°44'42" E AND A CHORD DISTANCE OF 31.62' TO THE BEGINNING OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE AN ARC LENGTH OF 21.76', SAID CURVE HAVING A RADIUS OF 60.00', A DELTA ANGLE OF 20°46'31", A CHORD BEARING OF OF N 53°09'48" E A DISTANCE OF 21.64'; THENCE N 89°56'59" E A DISTANCE OF 697.40';THENCE S 00°02'58" E A DISTANCE OF 437.54'; THENCE S 00°00'24" E A DISTANCE OF 139.83'; THENCE N 89°30'58" W A DISTANCE OF 339.58'; THENCE N 00°44'51" E A DISTANCE OF 139.83'; THENCE N 89°30'58" W A DISTANCE OF 580.37' TO THE POINT OF BEGINNING AND THERE TERMINATING. SUBJECT TO RESTRICTIONS, RESERVATIONS, EASEMENTS, COVENANTS, AND RIGHT OF WAY OF RECORD. THAT I HAVE COMPLIED WITH CHAPTER 17 OF CITY OF SPARTA'S SUBDIVISION ORDINANCES AND THE CURRENT PROVISIONS OF CHAPTER 236.34 OF THE REVISED WISCONSIN STATUTES ON SURVEYING AND MAPPING SAME. THAT THIS CERTIFIED SURVEY IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY OF THE LANDS SURVEYED AND MAPPED.

CERTIFIED THIS _____ DAY OF _____, 2020

JONATHAN A SCHMITZ
PROFESSIONAL LAND SURVEYOR #2465

COMMON COUNCIL RESOLUTION

RESOLVED THAT THIS CERTIFIED SURVEY MAP LOCATED IN NW ¼ OF THE SW ¼ AND THE SW ¼ OF THE SW ¼ OF SECTION 17, T17N, R3W, CITY OF SPARTA, MONROE COUNTY, WISCONSIN IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF SPARTA.

MAYOR, DATE

CITY CLERK, DATE



Bicycling Capital of America

PLAN COMMISSION APPLICATION FORM

Date: 8-31-2020

Name/Company: RANAE LAROCK

Address: 701 N Benton St
Sparta WI 54656

Phone: 608-269-1219

Purpose: moving of lot line

Meeting Date: _____

Fee: \$ 50.00

*Owe \$50
9-2-20
J.F.*

Fee Schedule:

Conditional Use Permit:	\$ 75.00
Zoning Variance:	\$250.00
Request for Zoning Change	\$ 75.00
Development Review (business)	\$ 75.00
Subdivision Plat Review	\$150.00
PUD Review	\$150.00
Lot Division/CSM Approval	\$ 50.00
Grading/Filling/Stormwater	\$ 50.00
ET Zoning Permit Residential	\$ 50.00
ET Zoning permit Accessory	\$ 25.00
ET Zoning Permit Business, Industrial, Manufacturing	\$ 75.00

Mail To:
Building & Zoning Office
201 W Oak Street
Sparta, WI 54656

PH: (608) 269-4340

Note: All items for Plan Commission must be received the Monday prior to the scheduled meeting. (Usually the second Monday of every month.) All fees are due at the time of application and are non-refundable.

All site and building plans must be submitted no larger than 11" x 17".

plu

CERTIFIED SURVEY MAP No.

PART OF BLOCK 6 OF DAMMAN'S ADDITION TO THE CITY
OF SPARTA, LOCATED IN THE SW 1/4 OF THE NW 1/4 OF
SECTION 13, TOWNSHIP 17 NORTH, RANGE 4 WEST, CITY
OF SPARTA, MONROE COUNTY, WISCONSIN.

DESCRIPTION

PART OF BLOCK 6 OF DAMMAN'S ADDITION TO THE CITY OF SPARTA, LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 4 WEST, CITY OF SPARTA, MONROE COUNTY, WISCONSIN. DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION; THENCE N63°58'36"E, 900.39 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 6 AND THE EAST RIGHT-OF-WAY NORTH BENTON STREET AND POINT OF BEGINNING; THENCE N00°22'02"E, 139.65 FEET ALONG SAID EAST RIGHT-OF-WAY AND WEST LINE OF SAID BLOCK 6; THENCE S89°43'11"E, 99.86 FEET; THENCE S00°22'56"W, 139.65 FEET TO THE NORTH RIGHT-OF-WAY COTTAGE STREET AND SOUTH LINE OF SAID BLOCK 6; THENCE N89°43'11"W, 99.86 FEET ALONG SAID NORTH RIGHT-OF-WAY AND SAID SOUTH LINE BLOCK 6 TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 13,495 SQ.FT.± AND/OR 0.319 ACRES±

SURVEYOR'S CERTIFICATE

I, JACOB K. STEPHENSON, PROFESSIONAL LAND SURVEYOR #3076, HEREBY CERTIFY THAT THIS IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF, MADE UNDER THE DIRECTION OF, RANAE LA ROCK, OWNER, AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, AND THE CITY OF SPARTA SUBDIVISION CONTROL ORDINANCE IN SURVEYING, DIVIDING AND MAPPING THE ABOVE DESCRIBED PARCEL.

JACOB K. STEPHENSON PLS#3076
PARAGON ASSOCIATES

OWNER'S CERTIFICATE

I, RANAE LA ROCK AS OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, DIVIDED, AND MAPPED AS SHOWN HEREON.

_____ SIGNED THIS _____ DAY OF _____ 20____.
RANAE LA ROCK

OWNER'S CERTIFICATE

I, KAREN LA ROCK AS OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, DIVIDED, AND MAPPED AS SHOWN HEREON.

_____ SIGNED THIS _____ DAY OF _____ 20____.
KAREN LA ROCK